

VILLAGE OF CEDARHURST

PARKING FIELD #10 EXPANSION

68 WASHINGTON AVENUE, CEDARHURST NASSAU, NY 11516



KEY MAP (Scale: 1" = 100')

| LIST OF DRAWINGS | |
|------------------|---------------------------------|
| DRAWING No. | TITLE |
| - | COVER |
| C-1 | GENERAL NOTES |
| C-2 | EXISTING CONDITIONS & REMOVALS |
| C-3 | ALIGNMENT PLAN |
| C-4 | GRADING AND DRAINAGE PLAN |
| C-5 | LIGHTING PLAN |
| C-6 | EROSION CONTROL NOTES & DETAILS |
| C-7 | MISCELLANEOUS DETAILS - 1 |
| C-8 | MISCELLANEOUS DETAILS - 2 |



Know what's below.
Call before you dig.

UTILITY NOTE

THE LOCATIONS OF THOSE BURIED AND ABOVE GROUND UTILITIES SHOWN ARE APPROXIMATE, ARE SHOWN FOR CONTRACTOR INFORMATIONAL USE ONLY, AND ARE NOT TO BE REFERENCED FOR CONSTRUCTION PURPOSES. THE IMPLIED PRESENCE OR ABSENCE OF UTILITIES IS NOT TO BE CONSTRUED BY THE OWNER, ENGINEER, CONTRACTOR, OR SUBCONTRACTORS TO BE AN ACCURATE AND COMPLETE REPRESENTATION OF UTILITIES THAT MAY OR MAY NOT EXIST ON THE CONSTRUCTION SITE. BURIED AND ABOVE GROUND UTILITY LOCATION, IDENTIFICATION, AND MARKING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. REROUTING, DISCONNECTION, PROTECTION, ETC. OF ANY UTILITY MUST BE COORDINATED BETWEEN THE CONTRACTOR, UTILITY COMPANY AND OWNER. SITE SAFETY, INCLUDING THE AVOIDANCE OF HAZARDS ASSOCIATED WITH BURIED AND ABOVEGROUND UTILITIES, REMAINS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

PREPARED BY:



177 CROSSWAYS PARK DRIVE
WOODBURY, NY 11797-0000

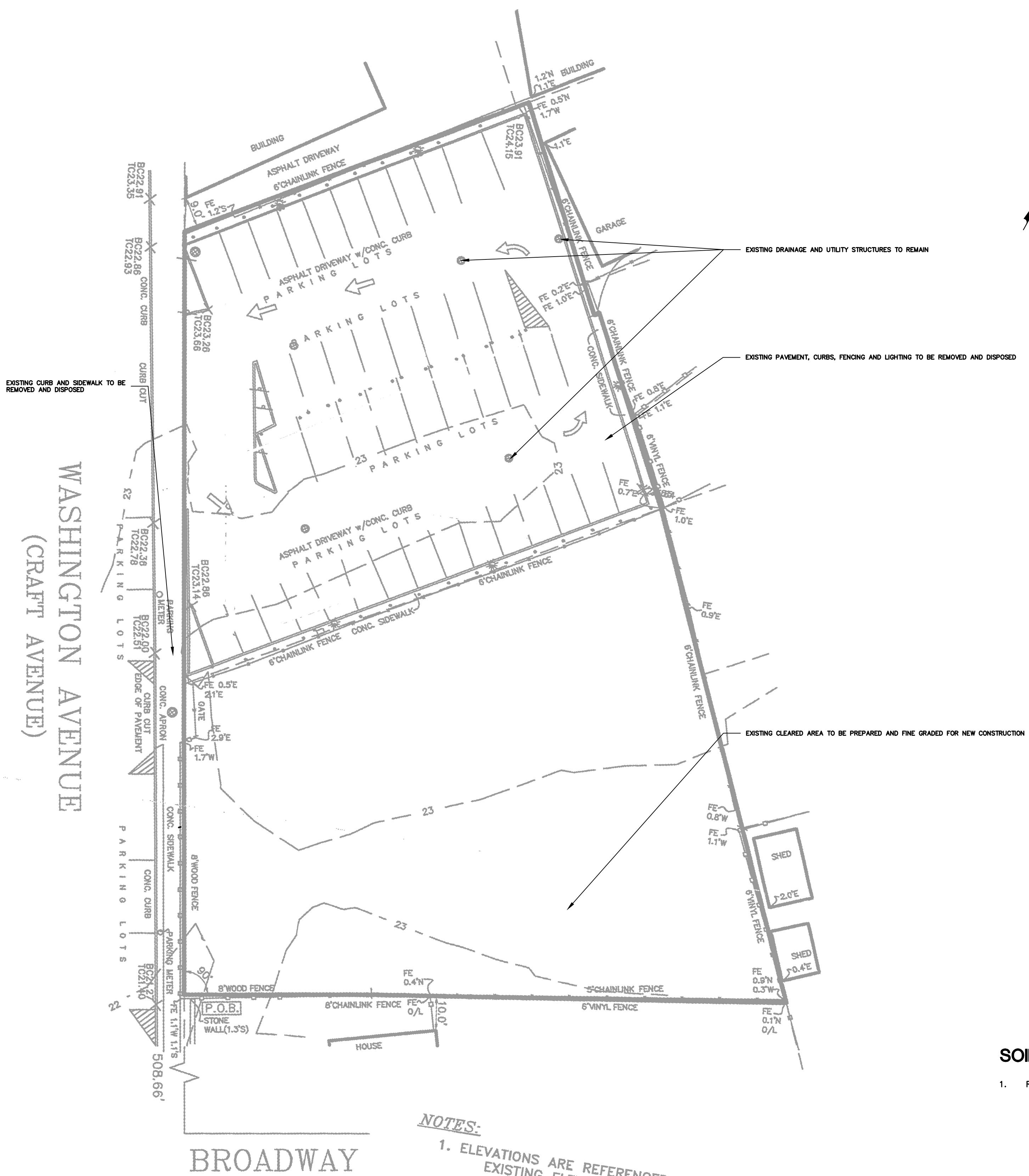
PH: 516.827.4900
www.imegcorp.com

JAN. 2026

SURVEY OF PROPERTY
 SITUATE
 INCORPORATED VILLAGE
 OF CEDARHURST,
 TOWN OF HEMPSTEAD
 NASSAU COUNTY, NEW YORK
 TAX No. 39-419-28,
 39-419-130 & 39-419-133

NOVEMBER 4, 2024

AREA = 34,741 sq. ft.
 0.798 ac.



DEMOLITION AND REMOVALS NOTES

- REMOVAL OF EXISTING STRUCTURES, INCLUDING BUILDING UTILITY AND DRAINAGE SYSTEMS AND OTHER STRUCTURES, IS TO BE DONE IN CONFORMANCE WITH THE REGULATIONS OF THE VILLAGE OF CEDARHURST AND APPLICABLE COUNTY, STATE AND FEDERAL AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR DEMOLITION AND DISPOSAL OF EXISTING STRUCTURES AND MATERIALS.
- ALL STRUCTURES DESIGNATED TO BE REMOVED INCLUDING, BUT NOT LIMITED TO BUILDING FOUNDATIONS INCLUDING FOOTINGS, CONCRETE SLABS, DRAINAGE STRUCTURES, CONCRETE WALKS, UTILITIES AND APPURTENANCES, FENCING, LIGHT POLES AND GUARD RAILS, ANY EXCAVATION RESULTING FROM DEMOLITION SHALL BE REPLACED WITH CLEAN, GRANULAR MATERIAL, COMPACTED TO 95% PROCTOR DENSITY.
- THE CONTRACTOR SHALL EMPLOY APPROPRIATE MAINTENANCE AND PROTECTION OF TRAFFIC MEASURES DURING CONSTRUCTIONS APPLICABLE IN ACCORDANCE WITH THE NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY 48 HOURS BEFORE EXCAVATING, CUTTING, REMOVING OR TAPPING INTO ANY EXISTING UTILITY SERVICE. THE TOWN SHALL BE NOTIFIED 48 HOURS BEFORE ANY SITE WORK IS BEGUN.
- THE CONTRACTOR SHALL CONFIRM THAT ALL UTILITIES HAVE BEEN DISCONNECTED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO REMOVAL/ABANDONMENT.
- CONTRACTOR SHALL COMPLY WITH ALL PHASE II STORM WATER REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN FOR THE DURATION OF THE PROJECT, THE EXISTING CHAIN LINK FENCE AROUND THE ENTIRE SITE PERIMETER.
- CONTRACTOR SHALL LOCATE AND SAFEGUARD ALL PUBLIC AND PRIVATE EXISTING UTILITIES WHICH ARE TO REMAIN.
- CONTRACTOR SHALL REPAIR AND /OR REPLACE ANY ITEMS DAMAGED BY HIS WORK, WHICH WERE SCHEDULED TO REMAIN.
- NO MATERIAL IS PERMITTED TO BE STORED OUTSIDE OF THE SITE PERIMETER.
- ANY EXCAVATION RESULTING FROM DEMOLITION SHALL BE PROPERLY BACKFILLED WITH CLEAN, GRANULAR MATERIAL, COMPACTED TO 95% PROCTOR DENSITY AND BACKFILLED TO MEET EXISTING ADJACENT GRADES. BACKFILL MATERIAL SHALL BE PLACED WITH MAXIMUM 9" LOOSE LIFTS. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION TESTING AND SHALL SUBMIT SUCH REPORTS AND VERIFICATION TO THE ENGINEER.
- DURING DEMOLITION THE CONTRACTOR EACH DAY SHALL REMOVE ALL RUBBISH AND EXCESS MATERIAL ACCUMULATED AS A RESULT OF HIS OPERATIONS AND/OR THE OPERATIONS OF HIS SUBCONTRACTORS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL AND THOROUGH CLEANING OF ALL SURFACES, FINISHES AND EQUIPMENT BEFORE FINAL ACCEPTANCE BY THE OWNER.
- ALL CONSTRUCTION DEBRIS, ETC. SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL SHALL BE PROPERLY REMOVED & DISPOSED OF LEGALLY OFF-SITE IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, ORDINANCES & LAWS.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE STATE OF NEW YORK DEPARTMENT OF LABOR, BOARD OF STANDARDS AND APPEALS INDUSTRIAL CODE RULE 53 - "CONSTRUCTION, EXCAVATION AND DEMOLITION OPERATIONS AT OR NEAR UNDERGROUND FACILITIES", EFFECTIVE APRIL 1, 1975. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF INDUSTRIAL CODE RULE 53.
- PRIOR TO ANY BUILDING OR PARTIAL BUILDING DEMOLITION, CONTRACTOR SHALL ARRANGE TO SHUT OFF ALL UTILITIES TO BUILDING. NO DEMOLITION WORK MAY COMMENCE UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING BY EACH RESPECTIVE UTILITY COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES, PIPING, DRIVELLS, ETC. PRIOR TO THE START OF WORK. THE GENERAL CONTRACTOR MUST CONTACT THE "ONE CALL" SYSTEM OR PRIVATE UTILITY MARK-OUT COMPANY TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE GENERAL CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THIS PLAN IS A COMPILED OF FIELD LOCATIONS AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH UTILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY ITEMS DAMAGED BY HIS WORK, WHICH WERE SCHEDULED TO REMAIN.
- CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO BUILDINGS/STRUCTURES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF FOUNDATIONS/WALLS/CURBS/SIDEWALKS AND PAVEMENT TO REMAIN AND PROVIDE A SAFE WORK AREA.
- WHERE BUILDINGS ARE TO BE REMOVED, REMOVAL SHALL INCLUDE ALL FOOTINGS, UNDERGROUND PIPING AND STRUCTURES, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS & APPROVALS HAVE BEEN OBTAINED PRIOR TO STARTING DEMOLITION.
- A NEW YORK STATE DEPARTMENT OF LABOR (NYS/DOL) LICENSED INSPECTOR MUST SURVEY ANY EXISTING BUILDINGS OR STRUCTURES FOR THE PRESENCE OF ASBESTOS CONTAINING BUILDING MATERIAL (ACBM) PRIOR TO DEMOLITION. IF ACBM'S AREA IDENTIFIED, THEY MUST BE HANDLED IN ACCORDANCE WITH NYS/DOL AND USEPA REGULATIONS.
- THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED WORK AND SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, EXISTING CONDITIONS AND LIMITATIONS. THE CONTRACTOR SHALL INCLUDE ALL COSTS OF ANY KIND THEREOF WHATSOEVER WHICH ARE INCURRED THROUGH LIMITATIONS OF THE EXISTING AND NEW CONDITIONS. LATER CLAIMS FOR EXTRA LABOR, EQUIPMENT AND MATERIALS REQUIRED DUE TO DIFFICULTIES WHICH COULD HAVE BEEN FORESEEN WILL NOT BE CONSIDERED AS EXTRA WORK.
- ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES, AND ALL REGULATORY AGENCIES.
- WHETHER SHOWN OR INFERRED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE CONTRACTOR, AND THE CONTRACTOR SHALL THEREBY BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL DRAWINGS.
- THE OWNER / OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH COULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF ANY AND ALL WORK.
- CONTRACTOR SHALL SUBMIT A DETAILED WORK PLAN INDICATING AT A MINIMUM HIS SEQUENCE OF OPERATIONS, PROPOSED EQUIPMENT, PROPOSED METHOD OF PREVENTING DEBRIS FROM ENTERING ADJACENT PROPERTIES AND RIGHT OF WAYS, ETC. WORK PLAN SHALL BE SUBJECT TO OWNER REVIEW AND APPROVAL.
- THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK OF THIS PROJECT. THE CONTRACTOR SHALL COOPERATE WITH OTHER CONTRACTORS AS REQUIRED TO CONFORM TO THE GENERAL CONSTRUCTION SCHEDULE AND SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE INTRODUCTION AND STORAGE OF THEIR MATERIALS AND EQUIPMENT AND THE EXECUTION OF THEIR WORK.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS, AND NOTING ALL APPLICABLE WORK AS SHOWN OR INFERRED. ALL WORK AS SHOWN OR INFERRED SHALL BE INCLUDED IN THE COSTS.
- THE CONTRACTOR SHALL ESTABLISH EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH N.Y.S. STANDARDS FOR URBAN EROSION AND SEDIMENT CONTROL.
- THE CONTRACTOR SHALL INCUR ALL COSTS AND BURDENS ASSOCIATED WITH LOST, STOLEN OR DAMAGED EQUIPMENT AND MATERIALS.

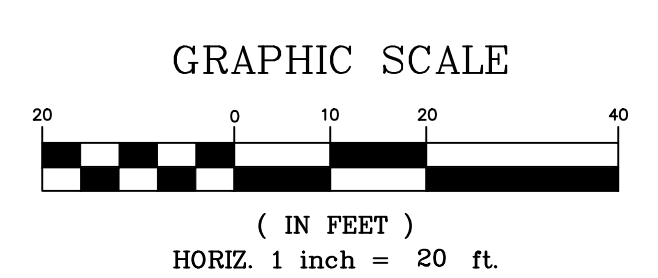
SOIL EROSION AND SEDIMENT CONTROL NOTES

- REFER TO SEPARATE EROSION AND SEDIMENT CONTROL PLAN FOR ADDITIONAL INFORMATION.

NOTES:
 1. ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988 DATUM
 EXISTING ELEVATIONS ARE SHOWN THUS: $\times 000.00$

LEGEND

- APPROXIMATE LIMIT OF WORK / DISTURBANCE
- LIMITS OF REMOVALS
- × ITEM TO BE REMOVED



CONTRACTOR SHALL SAWCUT ALL CONCRETE AND ASPHALT PAVEMENT AT ALL THE LIMITS OF PAVEMENT REMOVAL.

THE PROPOSED LIMITS OF ASPHALT SAW CUTTING FOR NEW OR RELOCATION OF UTILITY INSTALLATIONS AND REVISIONS / RELOCATIONS OF DRIVEWAY APRONS SHALL BE EXPANDED AS NECESSARY TO MEET EXISTING ASPHALT OR SUITABLE CONDITIONS TO ENSURE PROPER FLOW OF STORM WATER. DIRECTION MAY BE RECEIVED BY THE OWNERS REPRESENTATIVE.

PROJECT: 25005790.00\Design\Civil\25005790_25005790_EXISTING_CONDITIONS_AND_REMOVALS.dwg, Date: January 5, 2026, PkUser: 24436, Pdf: Plotted by: Joseph D. Borzari

| NO. | DATE | REVISION DESCRIPTION | INT. |
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| 1 | 12/10/25 | 90% REVIEW BY OWNER | JDB |
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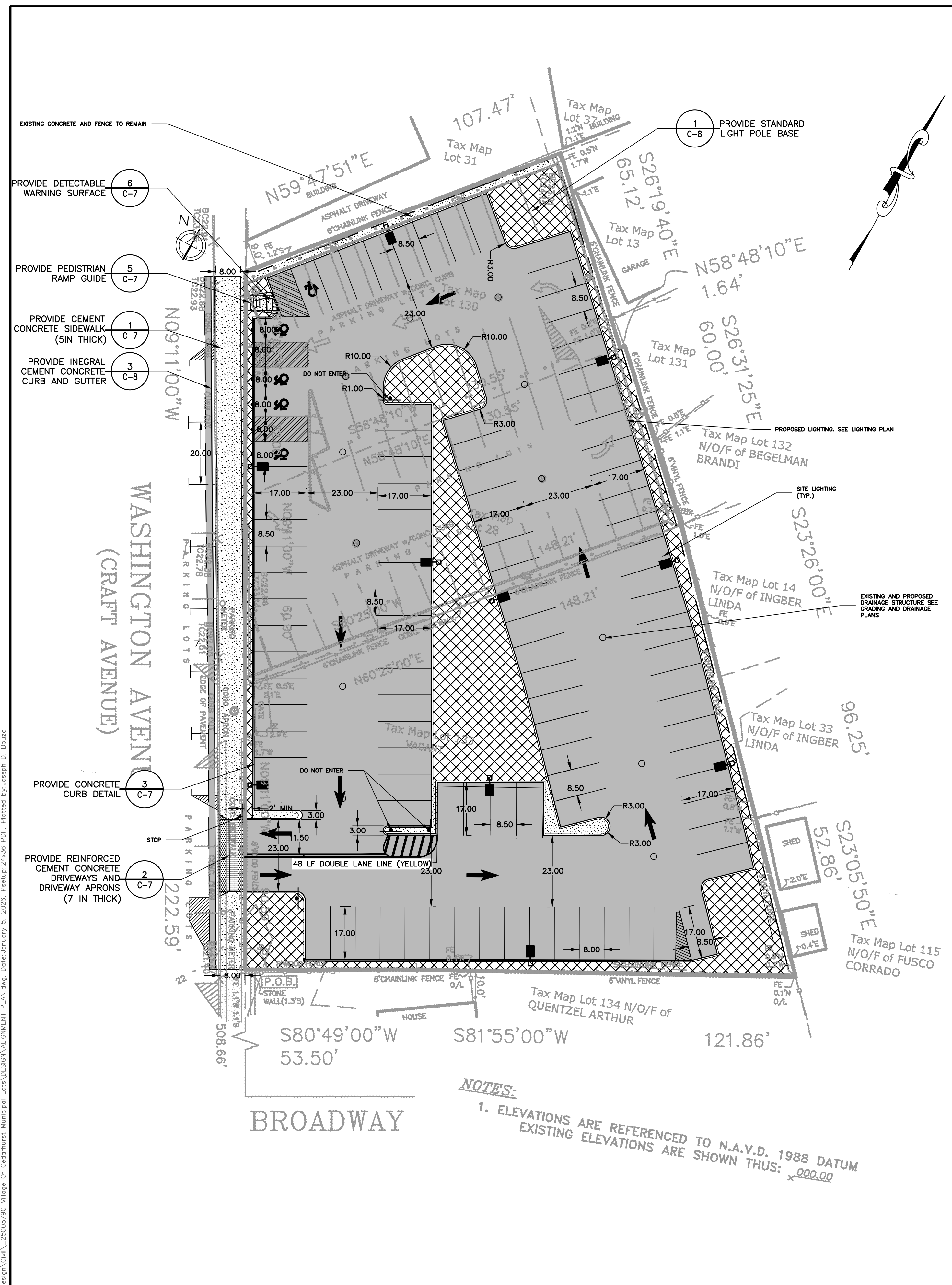
PROJECT NAME:
**VILLAGE OF CEDARHURST
 PARKING FIELD #10 EXPANSION**

PROJECT LOCATION:
**68 WASHINGTON AVENUE, CEDARHURST
 NASSAU, NY 11516**

TITLE:
**EXISTING CONDITIONS &
 REMOVALS**

DISCIPLINE:
CIVIL

| | | |
|--------------------------|----------------------------|---------------------------|
| PROJECT ENGINEER: SJH | PROJECT NO. 25005790.00 | DRAWING NO. C-2 |
| DESIGNED BY: JDB/SJH | JOB NO. 25005790.00 | DRAWING 3 of 9 |
| DRAWN BY: SB | DATE: JAN. 2026 | |
| CHECKED BY: SJF | SCALE: 1" = 20' | |



| NO. | DATE | REVISION DESCRIPTION | INT. |
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**VILLAGE OF CEDARHURST
PARKING FIELD #10 EXPANSION**

PROJECT LOCATION:
**68 WASHINGTON AVENUE, CEDARHURST
NASSAU, NY 11516**

TITLE:
ALIGNMENT PLAN

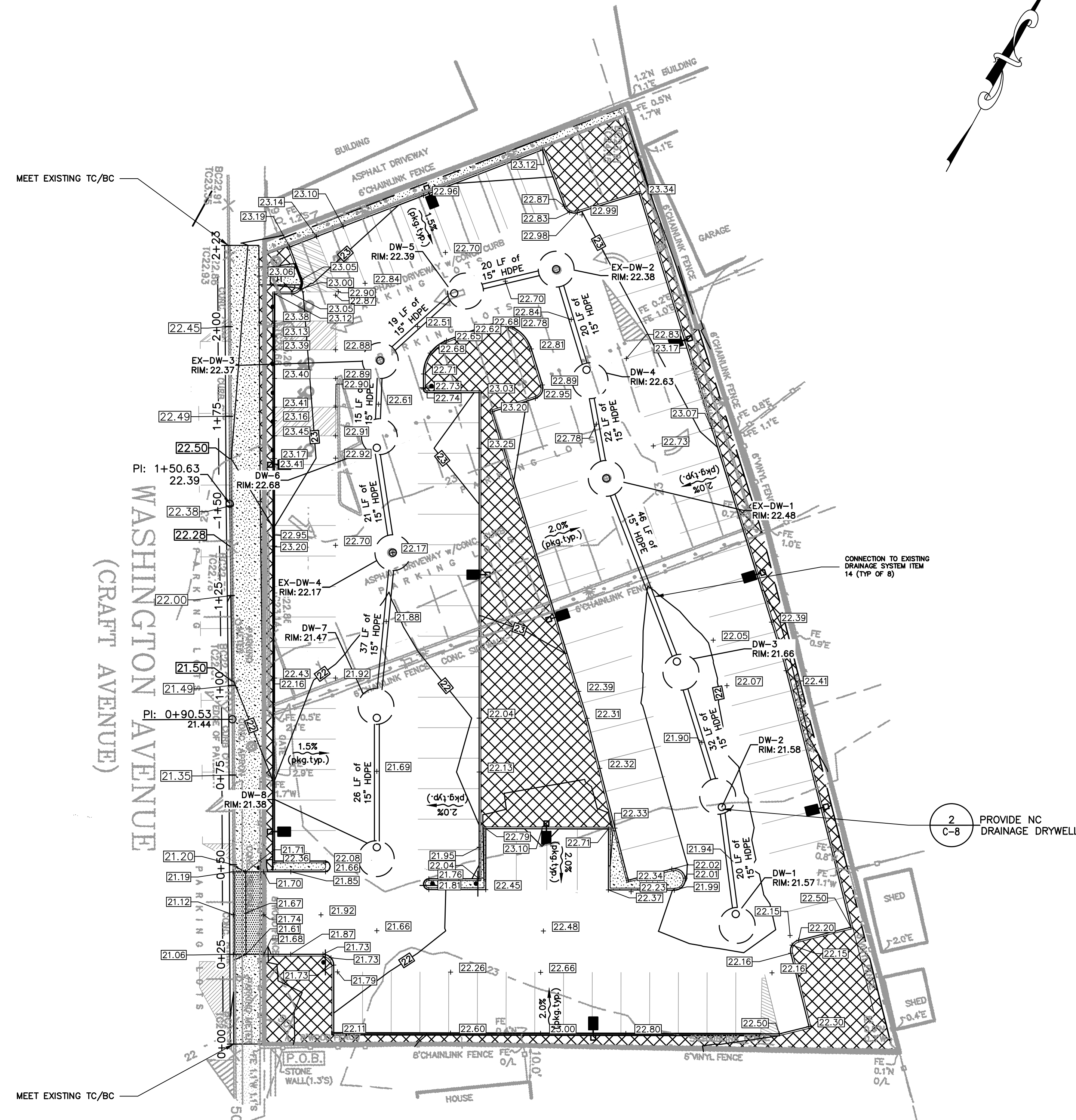
DISCIPLINE:
CIVIL

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| PROJECT ENGINEER: SJH | PROJECT NO. 25005790.00 | DRAWING NO. C-3 |
| DESIGNED BY: JDB/SJH | JOB NO. 25005790.00 | DRAWING 4 of 9 |
| DRAWN BY: SB | DATE: JAN. 2026 | |
| CHECKED BY: SJF | SCALE: 1" = 20' | |

PLOT SCALE: 2025\25005790\00\Design\Chal_25005790 Village of Cedarhurst Municipal Lots\DESIGN\ALIGNMENT PLAN.dwg, Date: January 5, 2026, PlotSize: 24x36 PDF, Plotted by: Joseph D. Brauzo

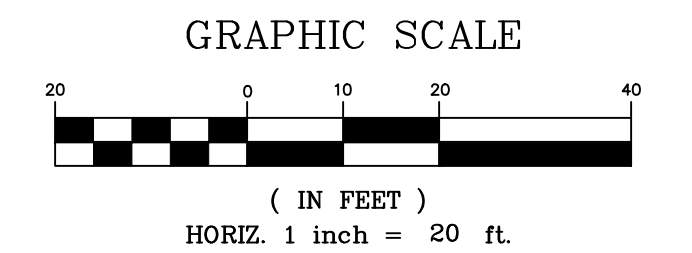
LEGEND (PROPOSED)

- + 21.58 PROPOSED ELEVATION
- PROPOSED 10' DIA DRYWELL W/ TRAFFIC SLAB AND GRATE
- EXISTING 8' DIA DRYWELL



| LEACHING POOL STRUCTURE TABLE | | | | | | |
|-------------------------------|--|-------|-------|------|---------------------|----|
| STRUCTURE NAME | DESCRIPTION | RIM | TOR | BOR | INV. EFF. DEPTH | |
| DW-1 | 10' DIA DRYWELL W/TRAFFIC SLAB AND GRATE | 21.57 | 18.90 | 7.90 | 17.35 N | 11 |
| DW-2 | 10' DIA DRYWELL W/TRAFFIC SLAB AND GRATE | 21.58 | 18.91 | 7.91 | 17.16 N 17.16 S | 11 |
| DW-3 | 10' DIA DRYWELL W/TRAFFIC SLAB AND GRATE | 21.66 | 18.99 | 7.99 | 17.40 N 17.40 S | 11 |
| DW-4 | 10' DIA DRYWELL W/TRAFFIC SLAB AND GRATE | 22.63 | 19.96 | 8.96 | 18.21 N 18.21 S | 11 |
| DW-5 | 10' DIA DRYWELL W/TRAFFIC SLAB AND GRATE | 22.39 | 19.72 | 8.72 | 17.97 SW 17.97 E | 11 |
| DW-6 | 10' DIA DRYWELL W/TRAFFIC SLAB AND GRATE | 22.68 | 20.01 | 9.01 | 18.26 S 18.26 N | 11 |
| DW-7 | 10' DIA DRYWELL W/TRAFFIC SLAB AND GRATE | 21.47 | 18.80 | 7.80 | 17.50 S 17.50 N | 11 |
| DW-8 | 10' DIA DRYWELL W/TRAFFIC SLAB AND GRATE | 21.38 | 18.71 | 7.71 | 16.96 N | 11 |
| EX-DW-1 | EXISTING 8' DIA DRYWELL HOLD RIM | 22.48 | | | 17.45 N 17.45 S | |
| EX-DW-2 | EXISTING 8' DIA DRYWELL ADJUST RIM | 22.38 | | | 17.45 W 17.45 S | |
| EX-DW-3 | EXISTING 8' DIA DRYWELL HOLD RIM | 22.37 | | | 17.44 S 17.44 NE | |
| EX-DW-4 | EXISTING 8' DIA DRYWELL ADJUST CASTING TO PROPOSED ELEVATION | 22.17 | | | 17.24 S 17.44 N | |

NOTES:
 1. ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988 DATUM
 EXISTING ELEVATIONS ARE SHOWN THUS: $\times 000.00$



PLOT SCALE: 2025\25005790\00\Design\Grading AND DRAINAGE.dwg, Date: January 5, 2026, PLOT: 24x36 PDF, Plotted by: Joseph D. Brouse

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PROJECT NAME:
**VILLAGE OF CEDARHURST
 PARKING FIELD #10 EXPANSION**

PROJECT LOCATION:
**68 WASHINGTON AVENUE, CEDARHURST
 NASSAU, NY 11516**

TITLE:
GRADING AND DRAINAGE PLAN

DISCIPLINE:
CIVIL

PROJECT ENGINEER:
 SJH

DESIGNED BY:
 JDB/SJH

DRAWN BY:
 SB

CHECKED BY:
 SJF

PROJECT NO.
 25005790.00

JOB NO.
 25005790.00

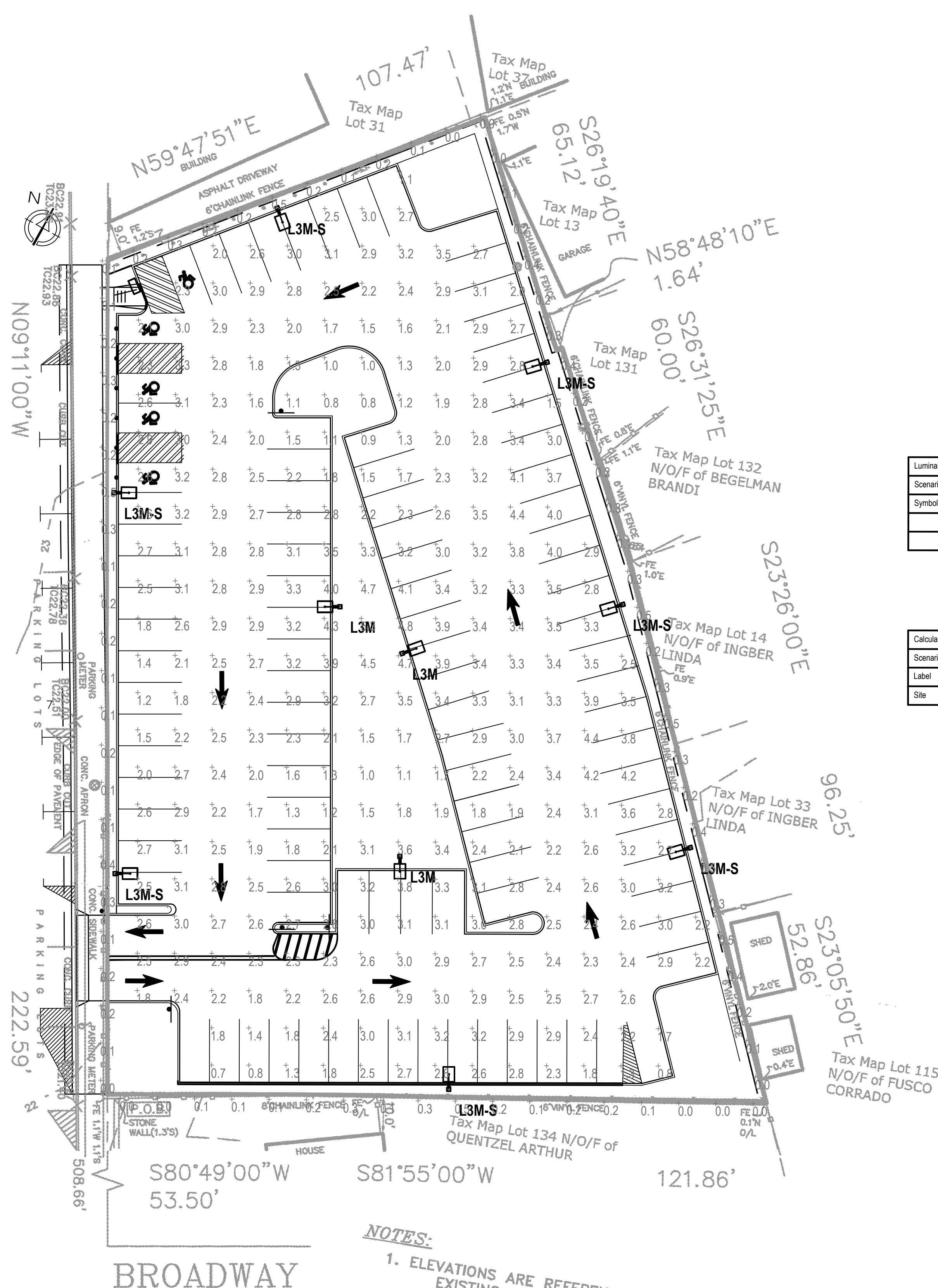
DRAWN DATE:
 JAN. 2026

SCALE:
 1" = 20'

DRAWING NO.
C-4

DRAWING
 5 of 9

WASHINGTON AVENUE
(CRAFT AVENUE)

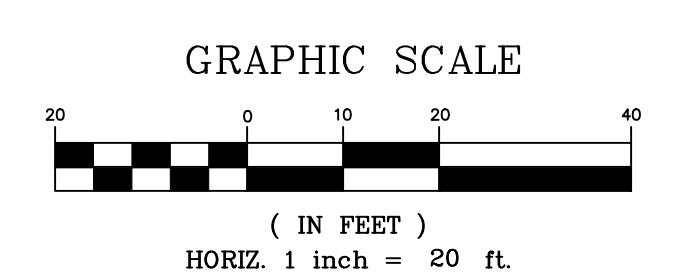


U.S. ARCHITECTURAL & SUN VALLEY LIGHTING
660 W. AVE. O
PALMDALE, CA 93551
(661) 233-2000

| Luminaire Schedule | | | | | | | | |
|--------------------|-------|-----|-------------|-----------------------------|------------------------------------|------------|-------------|-------|
| Scenario: L3 | | | | | | | | |
| Symbol | Label | Qty | Arrangement | Manufacturer | Description | Lum. Watts | Lum. Lumens | LLF |
| | L3M | 3 | Single | U.S. ARCHITECTURAL LIGHTING | RZR-M-PLD-III-M-48,ED-525mA-40K | 77.8 | 11430 | 0.920 |
| | L3M-S | 7 | Single | U.S. ARCHITECTURAL LIGHTING | RZR-M-PLD-III-M-48,ED-525mA-40K-HS | 77.8 | 8311 | 0.920 |

| Calculation Summary | | | | | | | |
|---------------------|-------------|------|-----|-----|-----|---------|-----|
| Scenario: L3 | | | | | | | |
| Label | CalcType | Unit | Avg | Max | Min | Max/Min | |
| Site | Illuminance | Fc | 2.6 | 5.3 | 0.7 | 3.8 | 7.6 |

NOTES:
1. ELEVATIONS ARE REFERENCED TO NAVD83 EXISTING ELEVATIONS



PROJECT: 25005790.00\Design\Chal\25005790_Village of Cedarhurst Municipal Lots\DESIGN\LIGHTING PLAN.dwg, Date: January 5, 2026, Plotter: 24x36 PDF, Plotted by: Joseph D. Blazak

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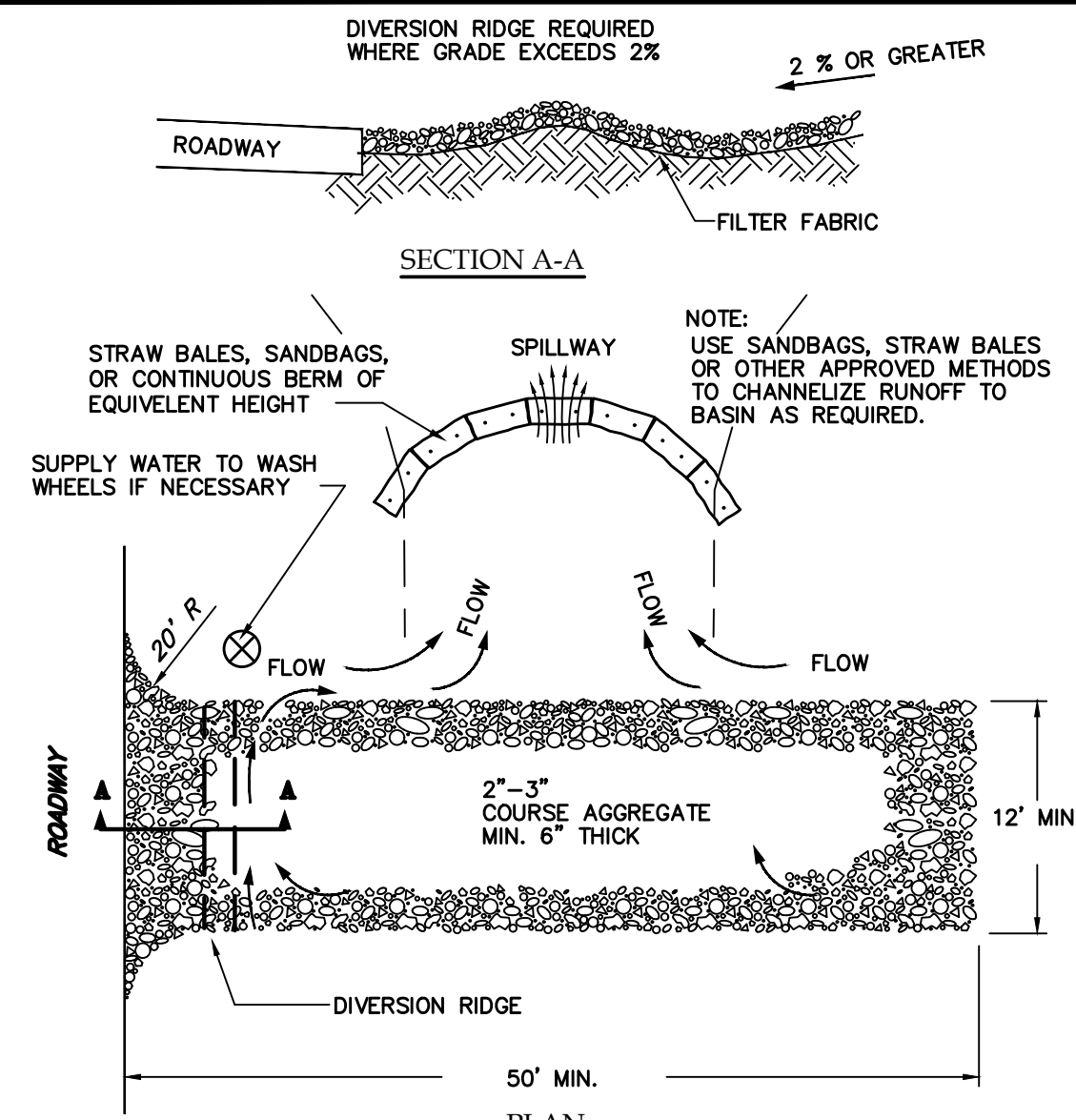
TITLE:
LIGHTING PLAN

DISCIPLINE:
CIVIL

PROJECT ENGINEER:
SJH
DESIGNED BY:
JDB/SJH
DRAWN BY:
SB
CHECKED BY:
SJF

PROJECT NO.
25005790.00
JOB NO.
25005790.00
DATE:
JAN. 2026
SCALE:
1" = 20'

DRAWING NO.
C-5
DRAWING
6 of 9

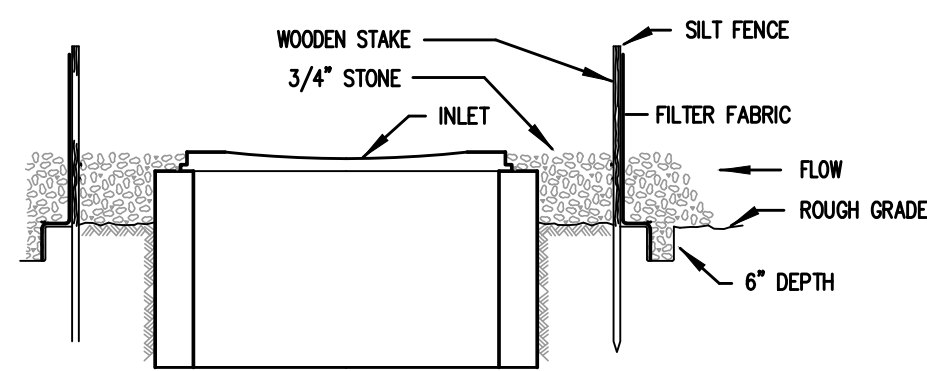


- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. ADDITIONAL & SUPPLEMENTAL STONE SHALL BE PLACED AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO ENSURE THE ENTRANCE REMAINS STABILIZED AND TO MINIMIZE DUST AND PONDING.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL

SCALE: NTS

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. CONTRACTOR SHALL COMPLY WITH ALL PHASE II STORM WATER REQUIREMENTS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION.
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (i.e., STEEP SLOPES AND GRAVEL EMBANKMENTS) SHALL RECEIVE A TEMPORARY COVER OF STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
4. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE COVER.
5. THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO MAINTAIN DUST CONTROL. VEHICLES SHALL BE CLEANED, AS NECESSARY, PRIOR TO USING PUBLIC STREETS. PAVED ROADS SHALL BE SPRINKLED WITH WATER.
6. ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE LOCATED IN THE FIELD AS REQUIRED OR AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACT DRAWINGS ARE NOT INTENDED TO SHOW THE LOCATION AND DETAILS FOR ALL SUCH DEVICES BUT ARE TO BE USED AS A REASONABLE GUIDE.
7. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE STATE DEC FOR THE RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL PRACTICES.
8. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.
9. UPON COMPLETION OF CONSTRUCTION WORK AND AFTER FINAL GRADING AND WHEN PERMANENT STABILIZATION HAS BEEN ESTABLISHED, THE STRAW BALES SHALL BE REMOVED BY THE CONTRACTOR.
10. ALL EXCESS EXCAVATED MATERIAL, EXCEPT FOR TOPSOIL, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
11. ALL UTILITIES AND CATCH BASIN INLETS MUST BE PROTECTED PRIOR TO START OF CONSTRUCTION.
12. THE CONTRACTOR SHALL PROVIDE A DETAILED SEQUENCE OF CONSTRUCTION OPERATIONS FOR REVIEW AND SUBMITTAL TO THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
13. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE WHERE POSSIBLE PRIOR TO, OR IMMEDIATELY FOLLOWING SITE AND ACCESS CLEARING.
14. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE AND MAINTAINED, INCLUDING SILT AND SEDIMENT REMOVAL, UNTIL CONSTRUCTION IS COMPLETED, AREA IS STABILIZED AND THE OWNER'S REPRESENTATIVE SO DIRECTS.
15. THE CONTRACTOR SHALL CONFINE SOIL DISTURBANCE ACTIVITY TO THE AREAS CONTAINED WITHIN THE LIMITS OF THE PROJECT SITE, EXCEPT AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
16. THE PROJECT MUST BE COMPLETED WITHIN THE TIME ALLOTTED AS SPECIFICALLY DESCRIBED IN THE CONTRACT DOCUMENTS.
17. SOIL STABILIZATION METHODS SHALL BE UNDERTAKEN COINCIDENTALLY WITH ALL MAJOR SITE IMPROVEMENTS AND CONTINUE DURING THE ENTIRE CONSTRUCTION ACTIVITY PERIOD.

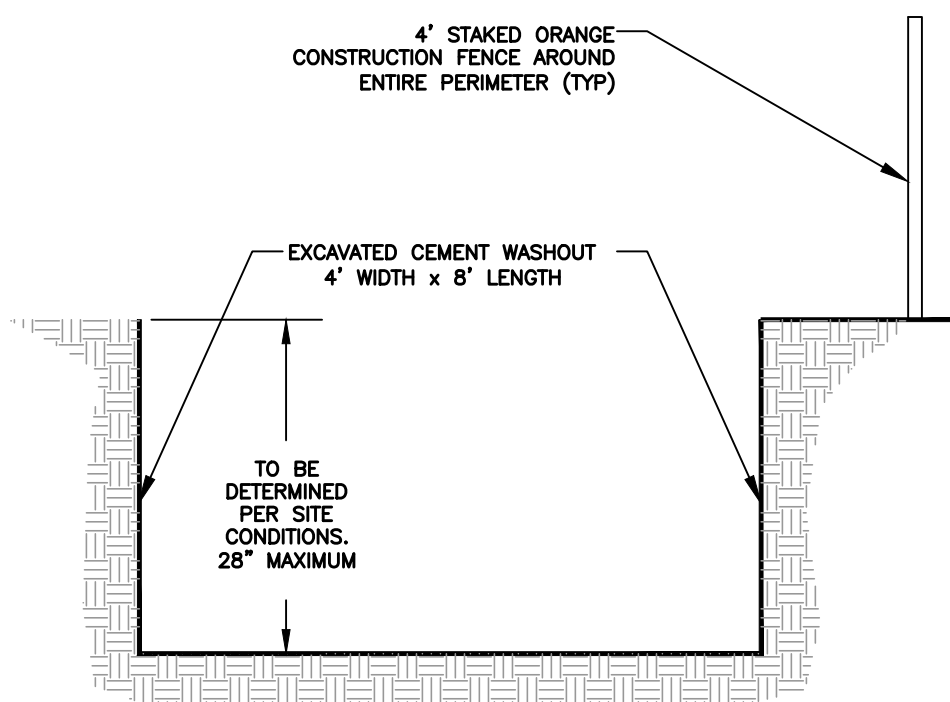


INSTALLATION NOTES

1. EXCAVATE A 6 INCH x 6 INCH TRENCH, OFFSET APPROXIMATELY 2 FEET FROM THE INLET
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE. SUPPLEMENT WITH GRAVEL, PILED AGAINST THE FENCE.

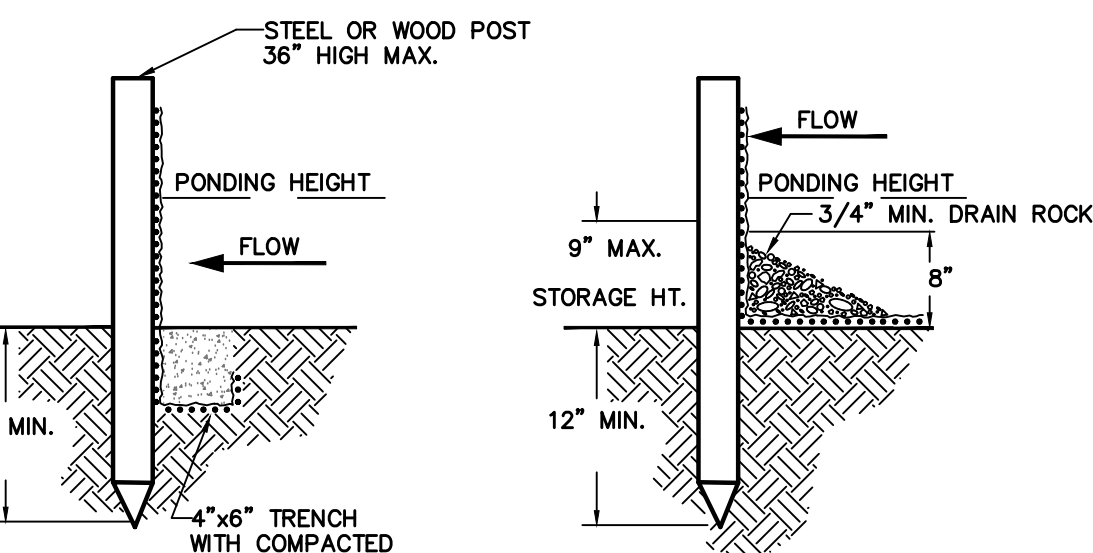
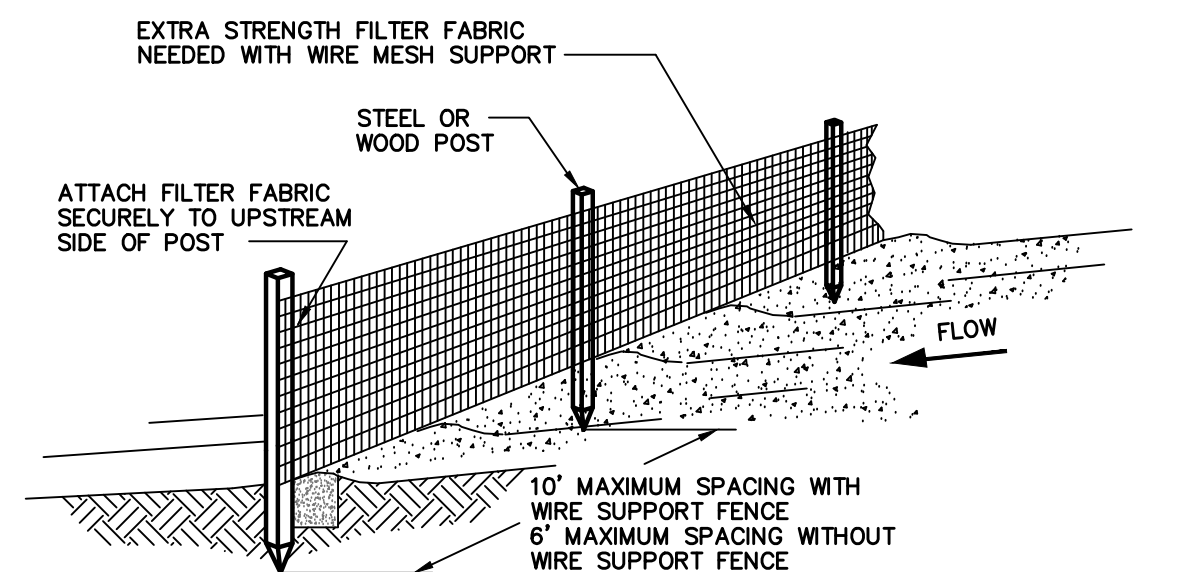
INLET PROTECTION (ON-SITE)

SCALE: NTS



- NOTES:
- 1) CONTRACTOR TO REMOVE HARDENED CONCRETE AS REQUIRED TO MAINTAIN EFFECTIVENESS.
 - 2) CONTRACTOR TO FILL IN AREA WHEN CONCRETE WASHOUT IS NO LONGER REQUIRED WITH CLEAN MATERIAL IN CONFORMANCE WITH PLANS. CONCRETE MUST BE REMOVED PRIOR TO FILLING IN.
 - 3) IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO COMMUNICATE LOCATION AND PURPOSE OF WASHOUT AREA TO CEMENT TRUCK DRIVERS.
 - 4) LOCATION OF CONCRETE WASHOUT TO BE DETERMINED ON-SITE AS FIELD CONDITIONS WARRANT.

CEMENT WASHOUT AREA



- NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9\"/>
 - 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

SILT FENCE DETAIL

SCALE: NTS

PROJECT: 25005790.00\Design\Civil\25005790_Village of Cedarhurst Municipal Lots\DESIGN\EROSION CONTROL NOTES AND DETAILS.dwg, Date: January 5, 2026, PSheep: 24-36 PDF, Printed by: Joseph D. Boura

| NO. | DATE | REVISION DESCRIPTION | INT. |
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| 1 | 12/10/25 | 90% REVIEW BY OWNER | JDB |
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WOODBURY, NY 11797-0000

PH: 516.827.4900
www.imegcorp.com

PROJECT NAME:
VILLAGE OF CEDARHURST PARKING FIELD #10 EXPANSION

PROJECT LOCATION:
68 WASHINGTON AVENUE, CEDARHURST NASSAU, NY 11516

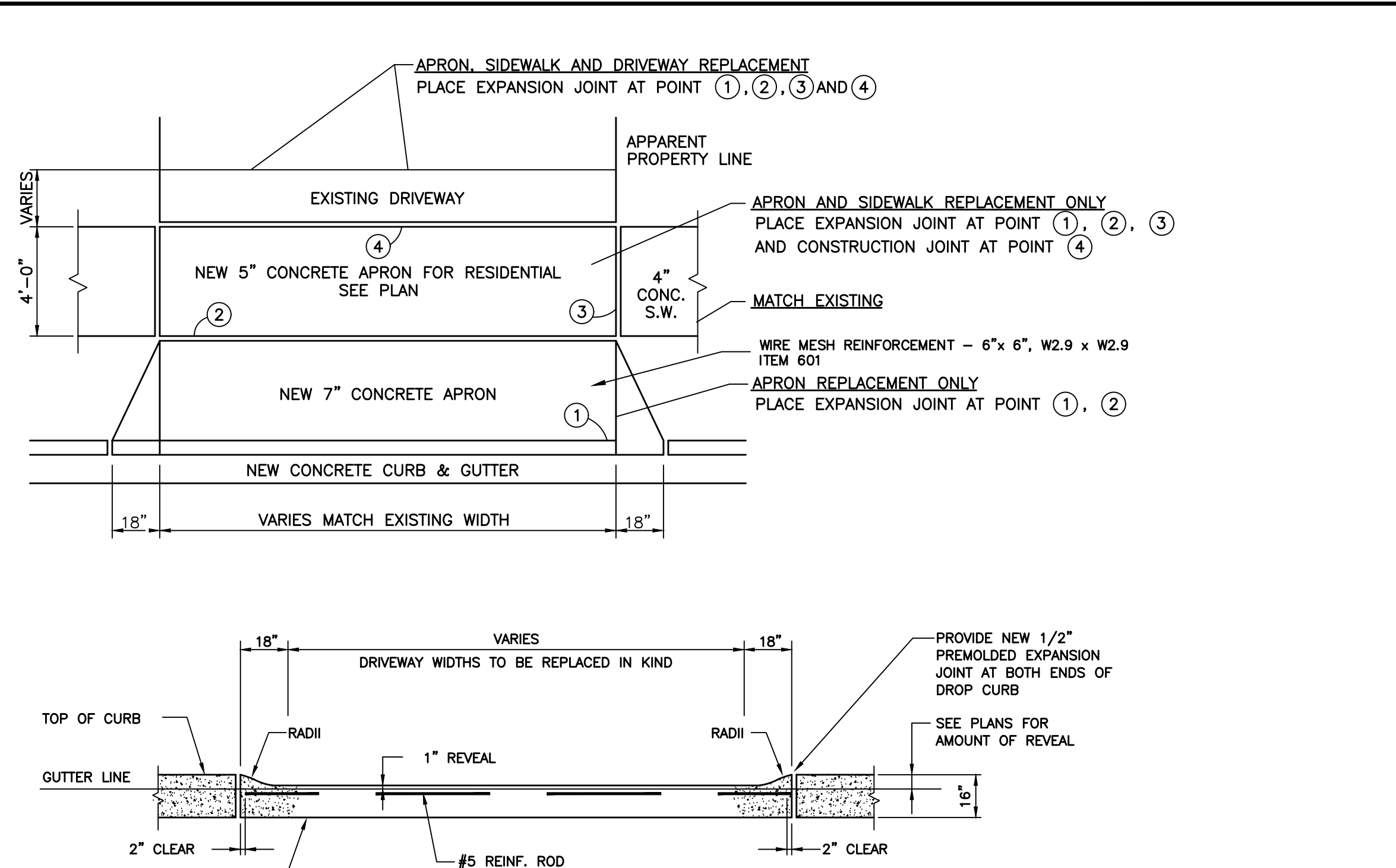
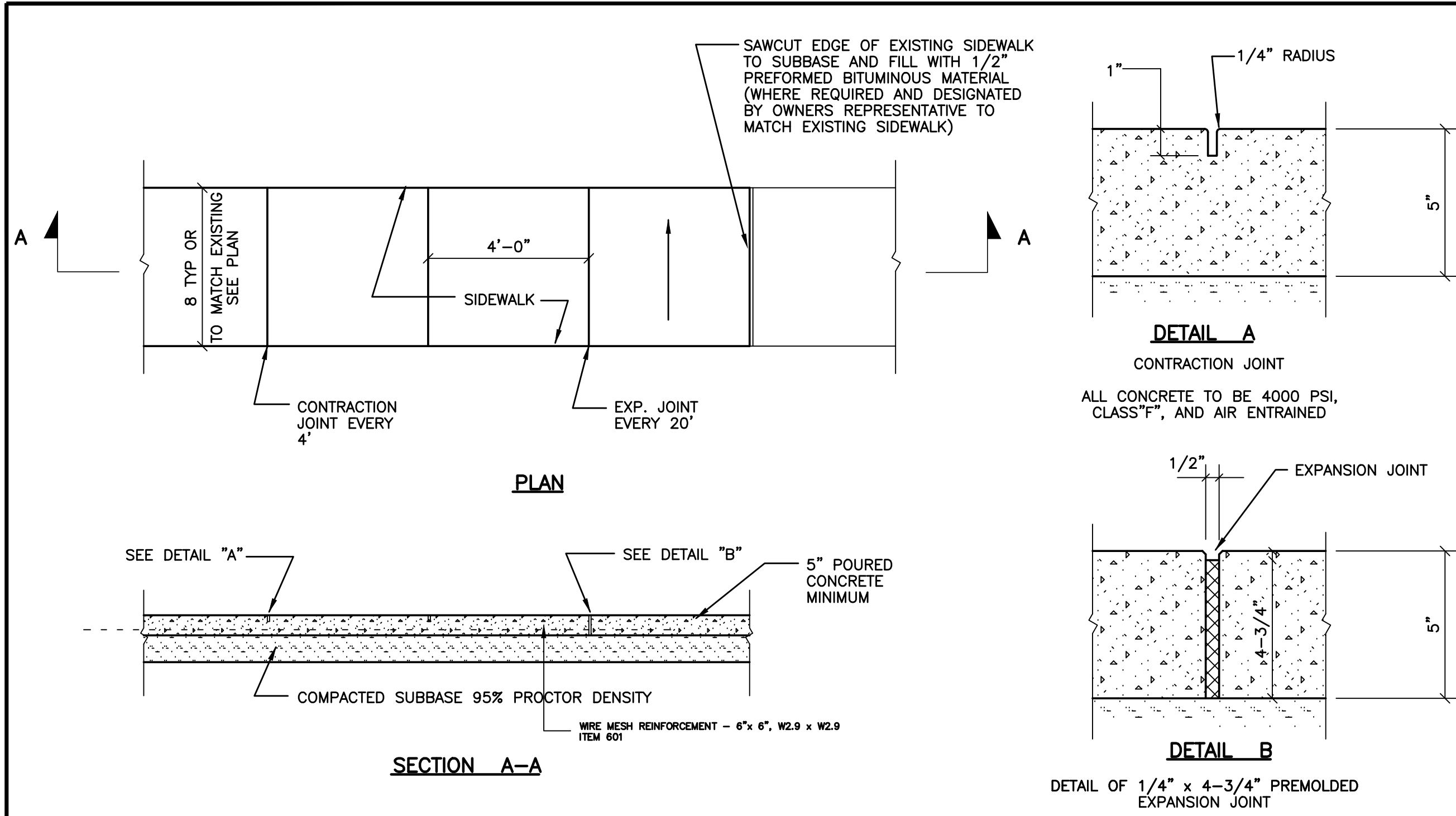
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EROSION CONTROL NOTES & DETAILS

DISCIPLINE:
CIVIL

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| PROJECT ENGINEER: SJH | PROJECT NO. 25005790.00 |
| DESIGNED BY: JDB/SJH | JOB NO. 25005790.00 |
| DRAWN BY: SB | DATE: JAN. 2026 |
| CHECKED BY: SJF | SCALE: NO SCALE |

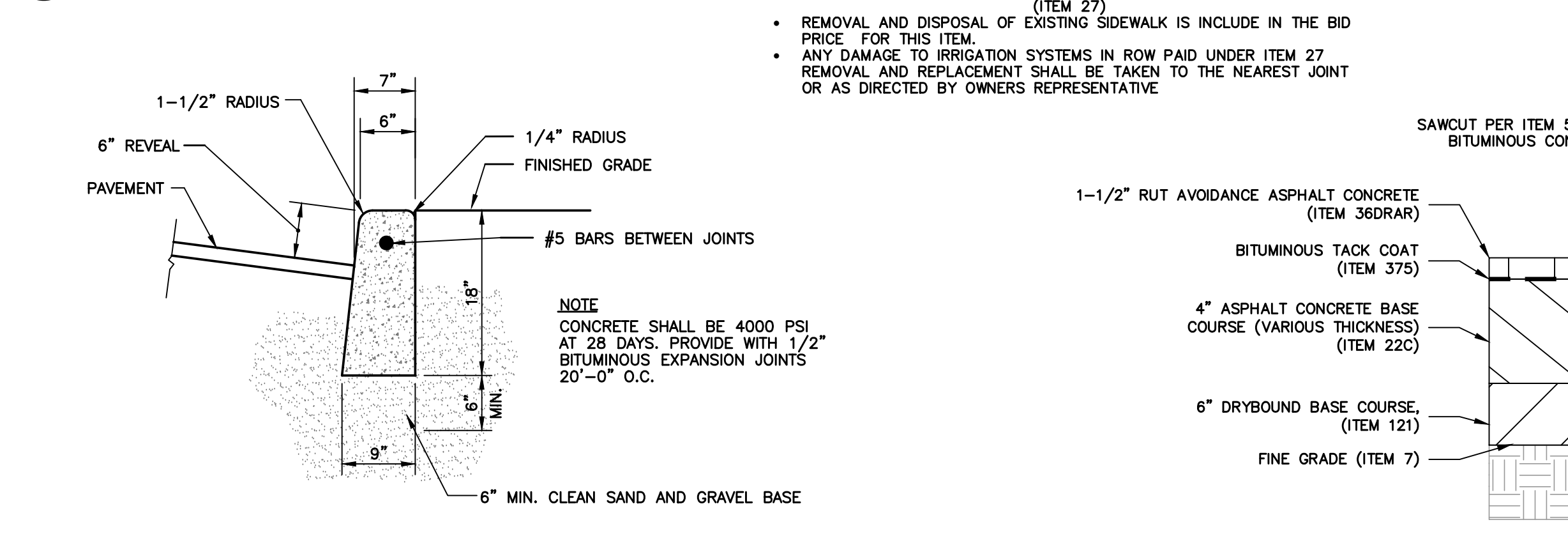
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DRAWING
7 of 9

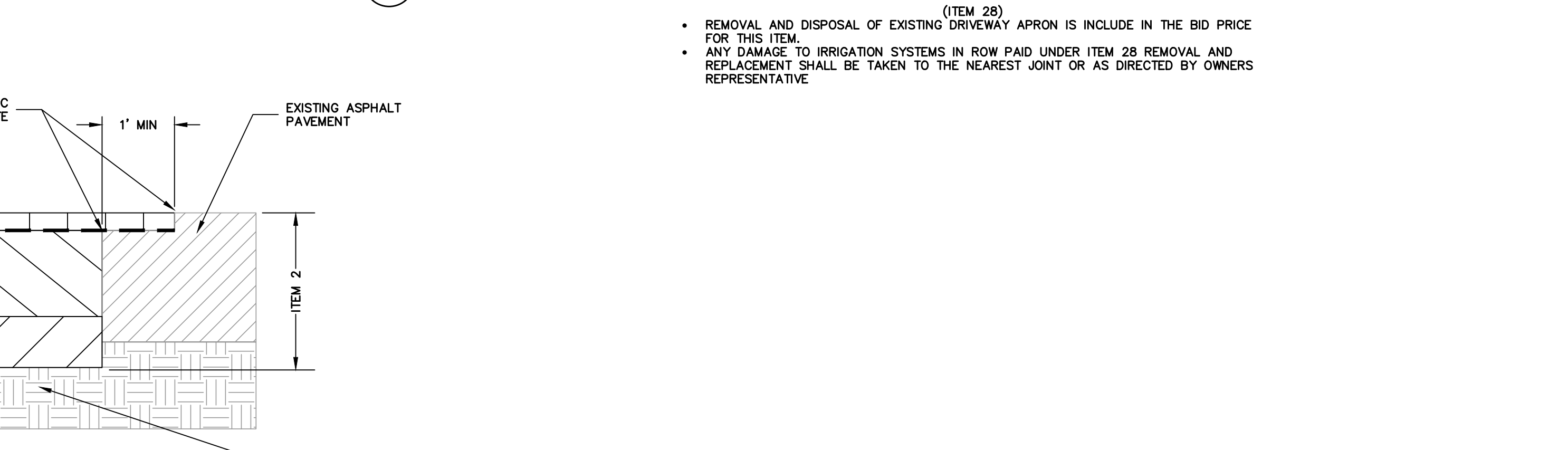


1 CEMENT CONCRETE SIDEWALK (5IN THICK) (ITEM 27) SCALE: N.T.S.

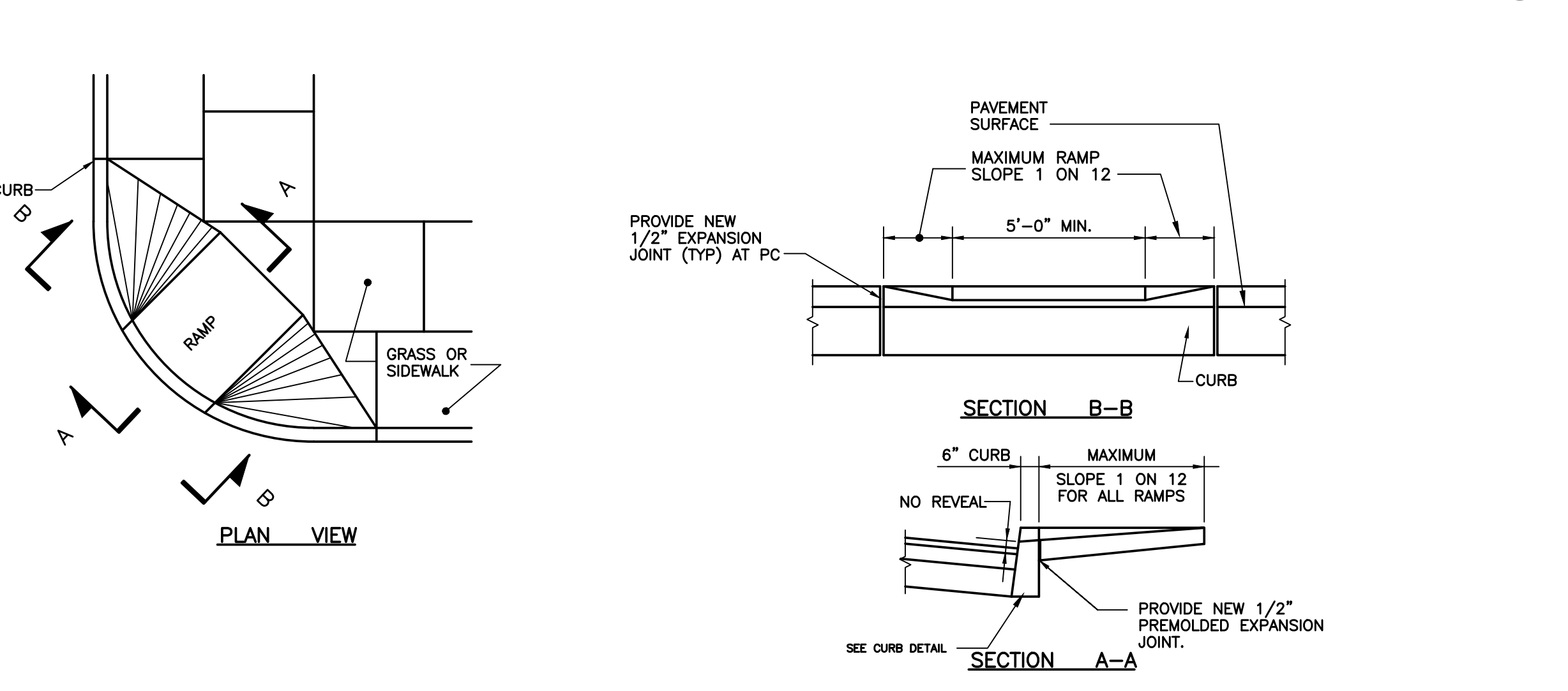
2 REINFORCED CEMENT CONCRETE DRIVEWAYS AND DRIVEWAY APRONS (7 IN THICK) (ITEM 28) SCALE: N.T.S.



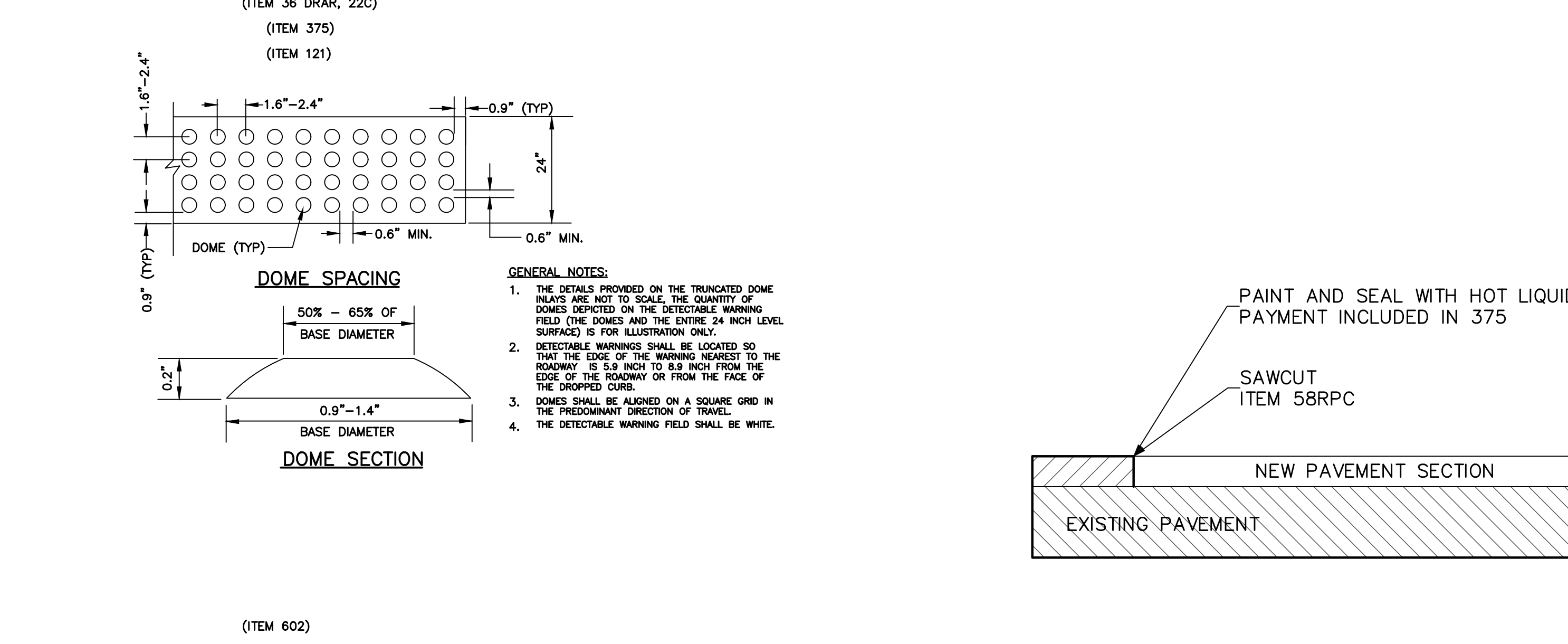
3 CONCRETE CURB DETAIL (ITEM 26) SCALE: N.T.S.



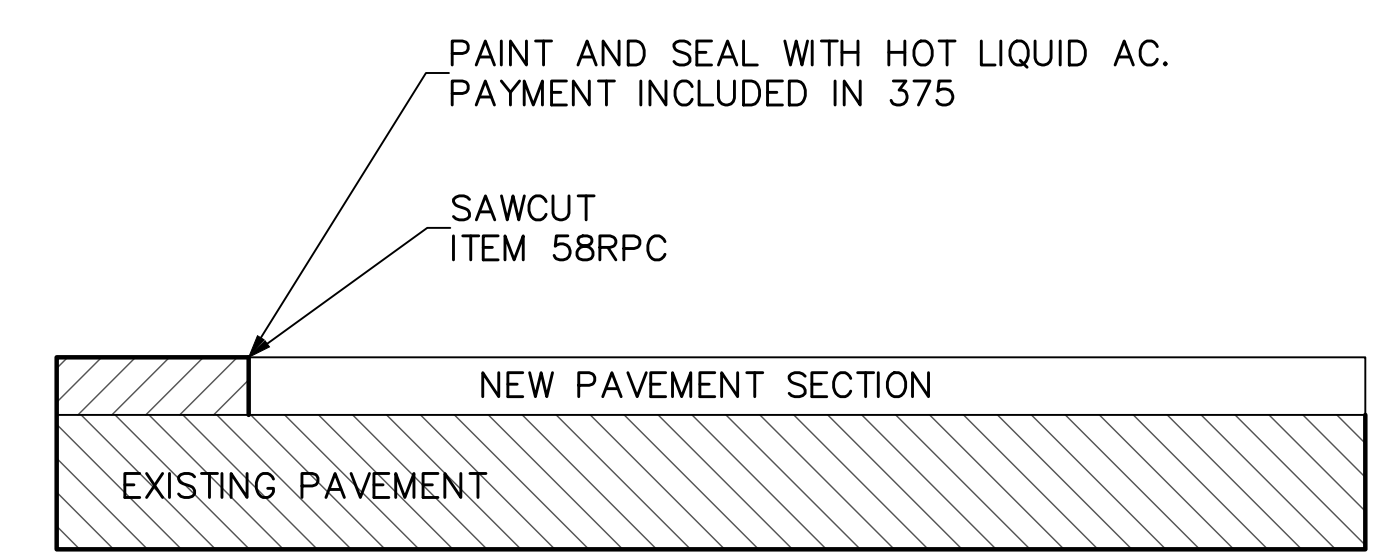
4 FULL DEPTH APhALT RESTORATION PAVEMENT (ITEM 36 DRAR, 22C) SCALE: N.T.S.



5 PEDESTRIAN RAMP GUIDE (ITEM 27) SCALE: N.T.S.



(ITEM 602)



PROJECT: 2025\25005790\00\Design\Chal_25005790_MISCELLANEOUS DETAILS.dwg, Date: January 5, 2026, Plotter: 24x36 PDF, Plotted by: Joseph D. Bouza

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PH: 516.827.4900
www.imegcorp.com

PROJECT NAME:
**VILLAGE OF CEDARHURST
PARKING FIELD #10 EXPANSION**

PROJECT LOCATION:
**68 WASHINGTON AVENUE, CEDARHURST
NASSAU, NY 11516**

TITLE:
MISCELLANEOUS DETAILS - 1

DISCIPLINE:
CIVIL

PROJECT ENGINEER:
SJH

DESIGNED BY:
JDB/SJH

DRAWN BY:
SB

CHECKED BY:
SJF

PROJECT NO.
25005790.00

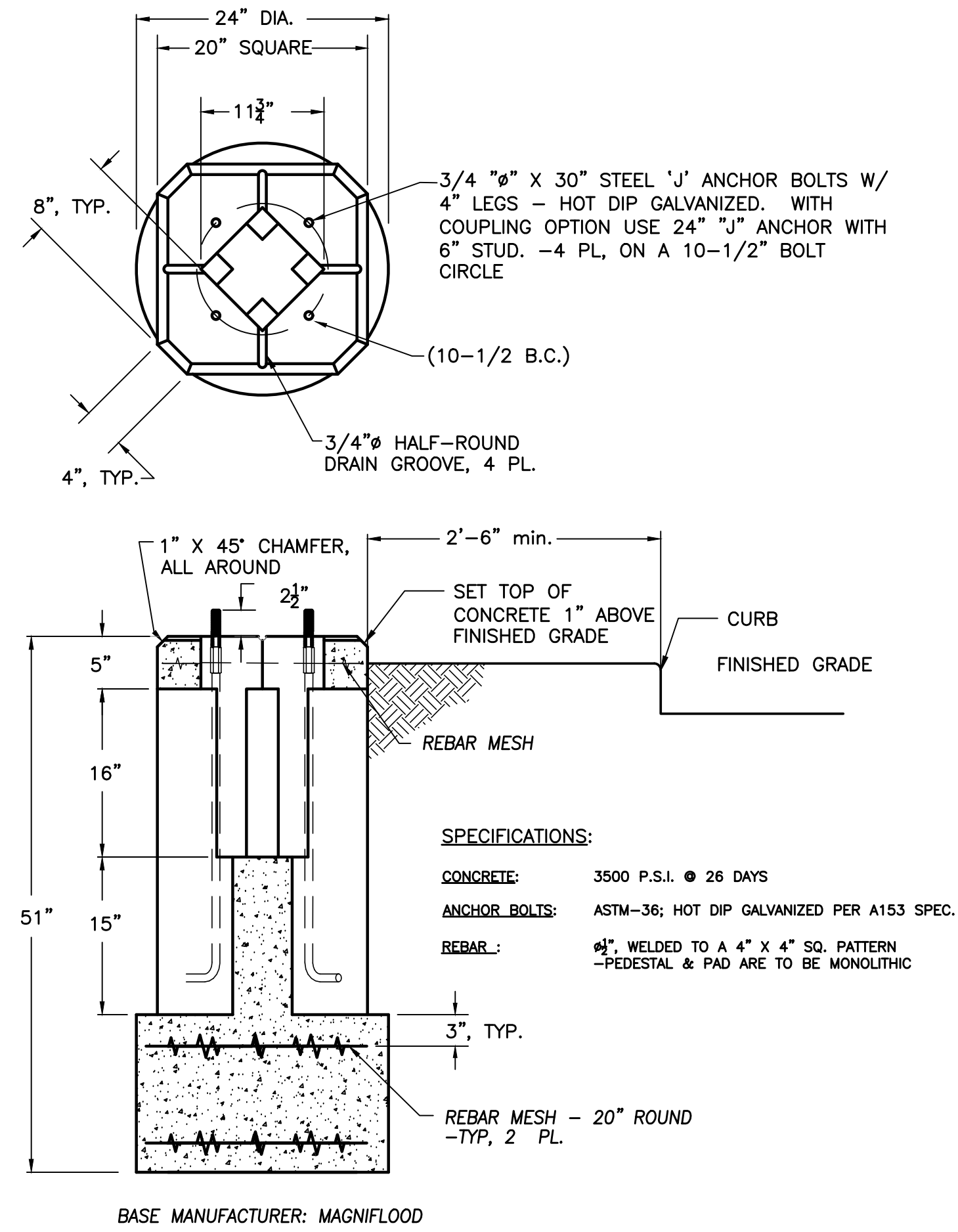
JOB NO.
25005790.00

DATE:
JAN, 2026

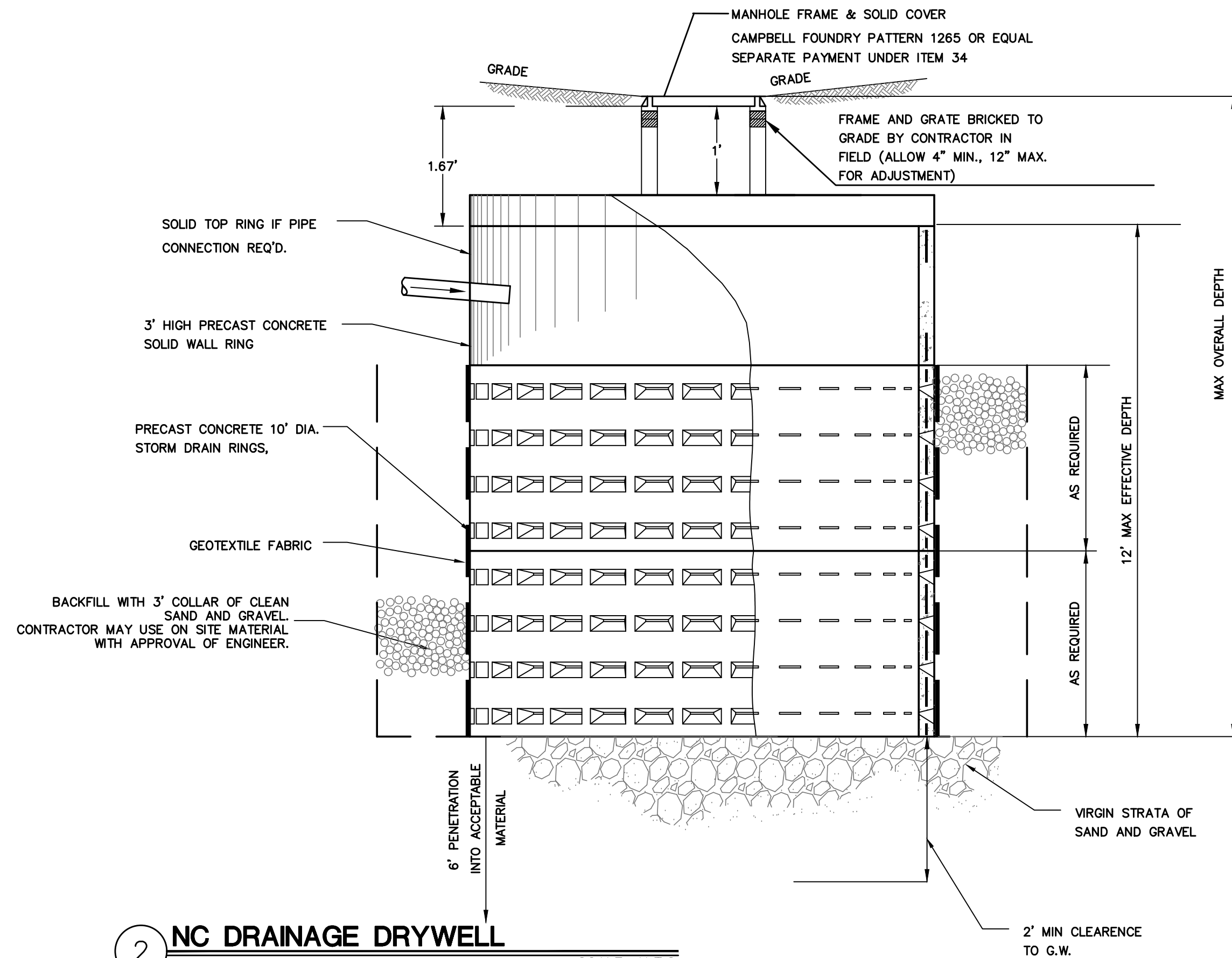
SCALE:
NO SCALE

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C-7

DRAWING
8 of 9

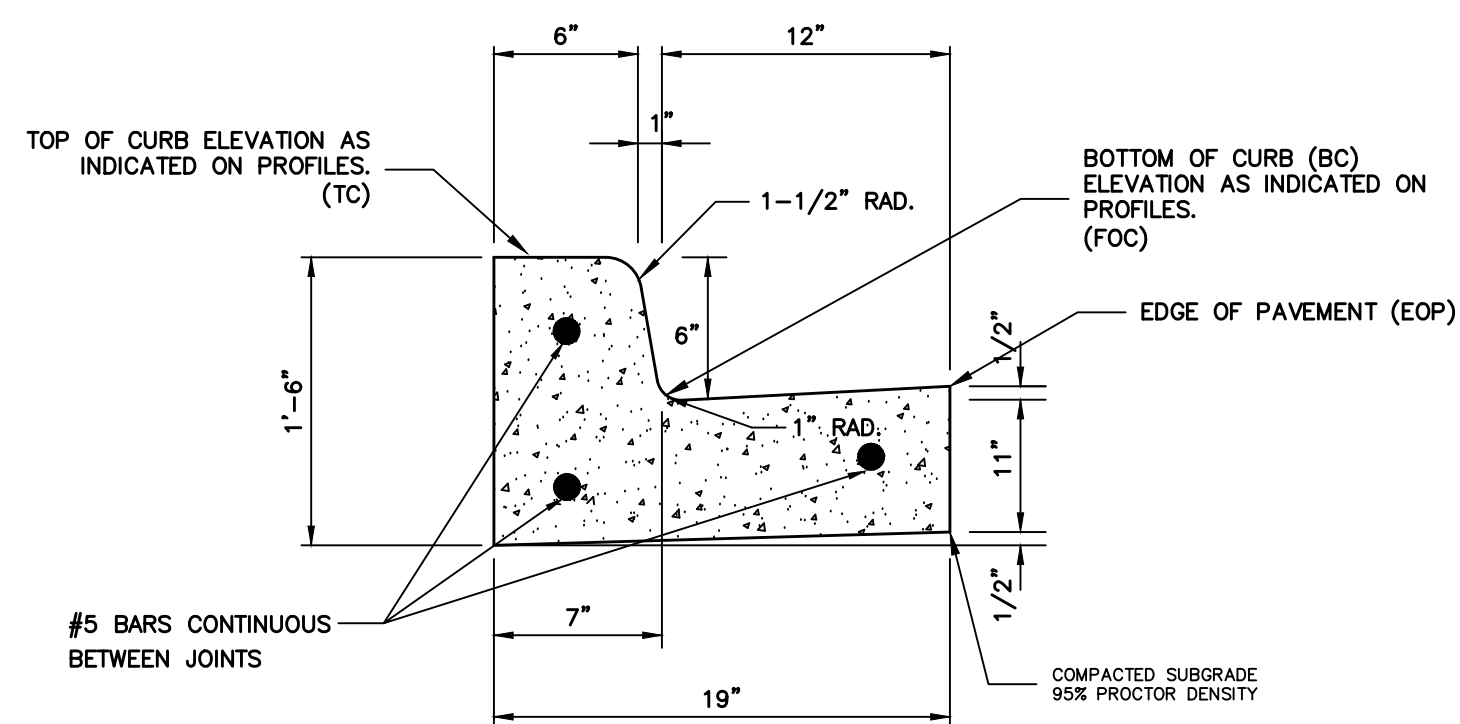


1 STANDARD LIGHT POLE BASE
 (ITEM 1000) SCALE: N.T.S.



2 NC DRAINAGE DRYWELL
 10' DIA DRYWELL
 ITEM 99-10 SCALE: N.T.S.

- NOTES:**
1. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 4,000 PSI AT 28 DAYS.
 2. WELDED WIRE FABRIC SHALL BE 6x12/W2.9xW2.9 (MIN.) AND SHALL CONFORM TO ASTM A-185.
 3. ALL PRECAST DRAINAGE STRUCTURES MUST MEET NASSAU COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS.
 4. BOTTOM OF LEACHING POOL MUST HAVE A 6' MIN. PENETRATION INTO RATEABLE MATERIAL.
 5. PAYMENT FOR ALL SHEETING NECESSARY SHALL BE PAID FOR UNDER ITEM 99-10.



3 NEGRAL CEMENT CONCRETE CURB AND GUTTER
 (ITEM 2600) SCALE: N.T.S.
 REMOVAL AND DISPOSAL OF EXISTING CURB IS INCLUDE IN THE BID PRICE FOR THIS ITEM.

PLOT SCALE: 2025\25005790.00\Design\Chel_25005790_Miscellaneous Details.dwg, Date: January 5, 2026, Plotter: 24x36 PDF, Plotted by: Joseph D. Bouza

| NO. | DATE | REVISION DESCRIPTION | INT. |
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PROJECT NAME:
**VILLAGE OF CEDARHURST
 PARKING FIELD #10 EXPANSION**
 PROJECT LOCATION:
**68 WASHINGTON AVENUE, CEDARHURST
 NASSAU, NY 11516**

TITLE:
MISCELLANEOUS DETAILS -2
 DISCIPLINE:
CIVIL

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| PROJECT ENGINEER: SJH | PROJECT NO. 25005790.00 |
| DESIGNED BY: JDB/SJH | JOB NO. 25005790.00 |
| DRAWN BY: SB | DATE: JAN. 2026 |
| CHECKED BY: SJF | SCALE: NO SCALE |

C-8
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 9 of 9